



Askern Close, Bexleyheath



Harpers & Co

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Bexleyheath

IMMACULATE 3 BED SEMI IN FAVOURED LOCATION | LARGE RECEPTION ROOM | WELL DECORATED THROUGHOUT | DESIGNER KITCHEN | MODERN BATHROOM | 2 DOUBLE ROOMS | AMPLE STORAGE | GAS CENTRAL HEATING | SECLUDED GARDEN | DRIVE FITS 3 CARS

Immaculate 3 bed semi-detached in sought after cul-de-sac location near Danson Road and in close proximity to mainline station.

Harpers & Co is delighted to offer this superb and very well decorated 3 bed semi in an ideal location.

The well designed and large hallway with a WC immediately gives a great impression to what is a very well designed family home. A large and attractive front reception room leads to a well specified kitchen and breakfast room.

The first floor accommodates 2 large double bedrooms and smaller third with an attractive family bathroom. Externally the rear garden is secluded, well maintained and provides access to the rear detached garage and driveway.

Entrance Hallway 11' 2" x 6' 7" (3.4m x 2m)

Trilock UPVC front door with leaded light glass inserts with glass side panels, fully tiled hallway, spotlights to ceiling, skirting, coving radiator with TRV, multiple plug points. Leads to to ground floor WC.

Ground Floor WC 5' 11" x 2' 7" (1.8m x 0.8m)

Laminated tile effect floor, designer square basin with chrome mixer tap, low level WC with push rod waste, opaque UPVC window to ceiling.

Reception/ Lounge 13' 9" x 15' 5" (4.2m x 4.7m)

Oak effect laminate flooring throughout, UPVC Bay window, skirting, coving, pendant light to ceiling aerial socket, multiple plug points



throughout, electric fireplace, curtain rails, Venetian blinds, under-stair storage unit, radiator with TRV. Leading to kitchen.

Kitchen/Diner

Skirting, spotlights to ceiling, attractive cream wall and floor mounted Kitchen units with built in appliances and storage, 4 ring AEG gas hob with extractor, AEG microwave, AEG Electric oven, integrated fridge freezer, washing machine and AEG dishwasher, storage unit. Basin with drainer and waste, UPVC window with attractive garden views, spotlights to ceiling. Wall mounted industrial radiator with TRV. French doors leading to garden.

First Floor Landing 8' 6" x 6' 1" (2.6m x 1.85m)

Hardwood painted Bannister rails, 2 UPVC windows on stairwell, loft hatch.

Master bedroom 10' 6" x 14' 9" (3.2m x 4.5m)

Fully carpeted throughout, skirting, coving, multiple plug points throughout, fitted wardrobes, UPVC windows to front views, pendant light to ceiling, aerial point radiator with TRV.

Bedroom 2 9' 10" x 12' 2" (3m x 3.7m)

Fully carpeted throughout, skirting, coving, UPVC windows with rear garden views, curtain rails, Venetian blinds, aerial point and multiple plug points. Pendant light to ceiling, radiator with TRV.

Bedroom 3 10' 2" x 7' 3" (3.1m x 2.2m)

Fully carpeted throughout, large shelved storage cupboard with spotlight, skirting, coving, pendant light to ceiling, radiator with TRV, UPVC window with integrated Venetian blinds.

Family Bathroom 9' 2" x 8' 6" (2.8m x 2.6m)

Oak effect flooring, P shaped bath with glass shower enclosure, chrome mixer taps with separate shower attachment, separate amazon rain forest shower, ceiling mounted extractor fan, spotlights, low level WC with push rod waste, low level basin with chrome mixer taps, heated towel rail, part tiled walls, wall mounted vanity unit, opaque UPVC window.

Garden

Paved patio area, mainly laid to lawn, borders and path leading to detached garage with full power and light and up and over manual door.

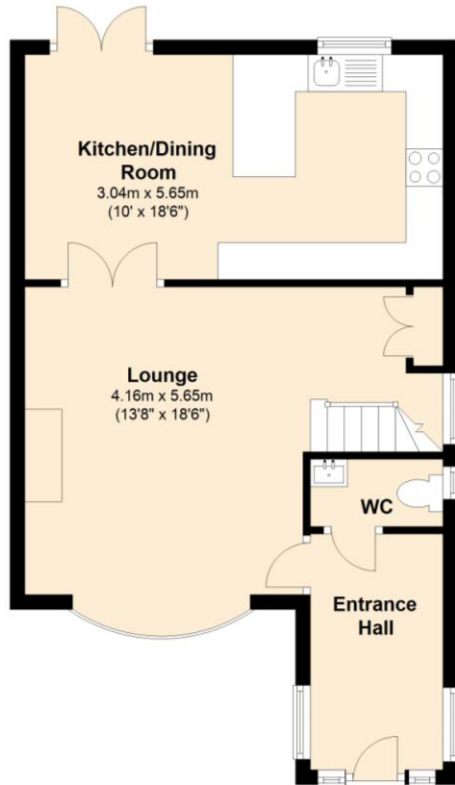
Harpers & Co Special Remarks

This well located and immaculate 3 bedroom house in a secluded cul de sac is a joy. It combines location, ample space and a well designed and attractive interior. This property is presented in excellent order and we urge early viewings.



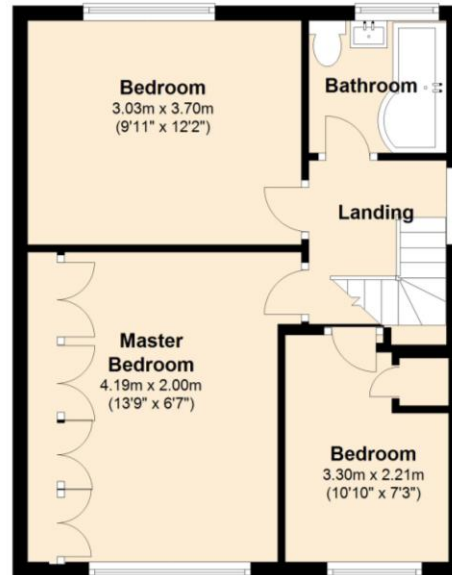
Ground Floor

Approx. 45.8 sq. metres (493.1 sq. feet)



First Floor

Approx. 41.7 sq. metres (448.6 sq. feet)



Total area: approx. 87.5 sq. metres (941.7 sq. feet)



Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92-100)	A		
(81-91)	B		84
(69-80)	C	70	
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England, Scotland & Wales			
		EU Directive 2002/91/EC	

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